

REQUEST FOR QUALIFICATIONS FOR GENERAL CONTRACTOR

Bishop Swing Community Housing Tenant Improvements

Issuance Date: May 4, 2021

Deadline for Proposals: May 27, 2021, 4:00 PM

Episcopal Community Services
165 Eighth Street, 3rd Floor
San Francisco, CA 94103

Table of Contents

<i>Project Summary</i>	3
<i>Commercial Space Design</i>	3
<i>Project Schedule</i>	3
<i>Funding</i>	4
<i>Requested Services</i>	4
<i>Submittal Package Requirements</i>	4
<i>Selection Criteria</i>	5
<i>Attachments:</i>	6

Project Summary

This Request for Qualifications for General Contractor (RFQ) is for Tenant Improvements in the commercial unit at Bishop Swing Community House (BSCH), an affordable housing development located at the corner of 10th and Folsom Streets in San Francisco. This commercial unit is addressed at 1350 Folsom Street. BSCH was built in 2009 with the commercial shell completed at that time. Episcopal Community Services of San Francisco (ECS) is now looking to finish the commercial tenant improvements.

ECS has been supporting the San Francisco affordable housing community through the development and operation of Permanent Supportive Housing since the 1990s. ECS is one of the City's largest nonprofit providers of essential services to homeless and very low-income San Franciscans. Serving for over 33 years, our contributions to end homelessness in San Francisco are offered through a continuum of programming: Housing; Shelters; and Education, Employment and Senior Services.

Commercial Space Design

The floor area of the commercial space is approximately 2,500 SF. Once complete, the space will include offices, cubicles, a multipurpose conference room, kitchenette, bathrooms and storage. A conceptual design package is attached as Exhibit A and is subject to change.

Project Schedule

Conceptual design is complete. ECS is seeking a General Contractor (GC) to join the team early to help with cost estimating, scheduling, and constructability review for permitting. ECS anticipates entering into a pre-construction agreement with the selected GC, and then a contract (AIA form) based on the permit set of drawings. If the parties are unable to negotiate, in good faith, a contract amount within the previously established fixed limit of construction cost, the ECS reserves the right to select a different GC for the project with no obligation to the GC. If the parties are able to negotiate a construction amount with the fixed limit of construction costs, ECS expects the pre-construction agreement to be rolled up into the contract.

Construction is tentatively scheduled in November 2021 and must be completed within 10 months.

Pricing Estimate	June 2021
CDs	July-August 2021
Bidding/Negotiations	September 2021
Construction	November 2021

Funding

The affordable housing project was originally assisted by the City of San Francisco's Mayor's Office of Housing and Community Development and Low Income Housing Tax Credits. The selected general contractor may be subject to MOHCD for detailed review of proposed plans, specifications, qualifications as well as an analysis of costs. The selected contractor will be required to detail any unusually high costs or be subject to repricing if the reviewer or lender have concerns. Other funding sources may be identified, and general contractor may be subject to additional lender review.

Requested Services

ECS seeks GC services for this project during pre-construction planning and the construction phase. The GC shall be an individual or firm with the capability, experience, and expertise to complete the construction of this project to ECS's satisfaction, and that of its funders, while controlling costs and adhering to the schedule.

Qualified general contractors must be:

- Licensed in the State of California.
- Demonstrated experience with commercial tenant improvements.
- Successful completion, in the last 5 years, of at least one publicly funded project with construction contract in excess of \$1,000,000.
- Successful completion, in the last 5 years, of tenant improvements.
- Experience meeting the City of San Francisco's local hiring policies, or comparable.
- Preferred qualifications include demonstrated experience working with vendors, subcontractors and officials the greater San Francisco Bay Area.

GC will provide cost estimates at Conceptual Design and 75% CDs. General Contractor will complete value engineering recommendations at 75% CDs and subcontractor bidding.

GC will provide Payment and Performance Bond in an amount equal to 100% of the Construction Contract.

Submittal Package Requirements

- A. Cover letter
- B. Company Information
 - i. Name, contact, address, phone, fax, and email
 - ii. Resumes of key personnel
- C. Project Experience, including comparable projects (not to exceed 5 pages)

- i. Name of project, location, date completed, brief description, SBE and LBE participation
 - ii. References including contact name, phone, email, and relation to project
- D. Pre-Construction Services
- E. Construction/Project Management Services
- F. City of San Francisco Local Hire Experience
- G. Company Financial Statements
- H. Insurance and Bonding Capabilities
- I. Construction Schedule
- J. Proposed Fee

Statement of Qualifications submittals are not to exceed 20 pages. It is anticipated that ECS will receive information regarding the applicant's prior experience and General Contractor services to demonstrate their knowledge and capacity for this project. Qualifications submittals received after the due date will not be accepted.

Selection Criteria

ECS will evaluate all completed, responsive and qualified submittals. Evaluations will be based on the criteria discussed below. ECS reserves the right to accept or reject any and all of the proposals at their sole discretion. Respondent acknowledges and accepts that any costs from the respondent's participation in this RFQ shall be at the sole risk and responsibility of the respondent.

Evaluation Criteria:

1. Completeness of proposal based on this RFQ
2. Applicable construction experience and skills based on projects of similar size and scope
3. Project team experience
4. Ability to meet City and funder requirements
5. Insurance and bonding capacity
6. References
7. Competitive fee and general conditions

Selection Process Timeline:

RFQ posted	May 4, 2021
Deadline for questions	May 12, 2021
Responses to RFQ deadline	May 27, 2021
Interviews	June 1-2, 2021
GC Selection	June 4, 2021

Grounds for Rejection:

ECS reserves the right to reject any or all of the submittals for the following reasons:

- The submittal does not contain all the information requested in this RFQ
- The submittal is received after the designated deadline
- Acceptance of the submittals would entail a violation of law or City codes
- The General Contractor has been suspended or debarred from doing business by the United States Department of Housing and Urban Development or the City or County of San Francisco

ECS reserves the right to postpone or withdraw this request at any time, to reject any and all proposals without indicating any reason for such rejection, or to negotiate with any or none of the respondents.

The selected GC must conduct good faith efforts in selecting sub-contractors. In the event the selected GC fails to satisfy the goals, the ECS reserves the right to negotiate with another GC.

SBE and LBE firms are encouraged to apply.

Interested GC are invited to submit a Statement of Qualifications no later than Thursday May 27, 2021 at 4:00 PM.

For consideration, please return 1 electronic copy of the submittal to:

Rebecca Gigi
Episcopal Community Services
rgigi@ecs-sf.org

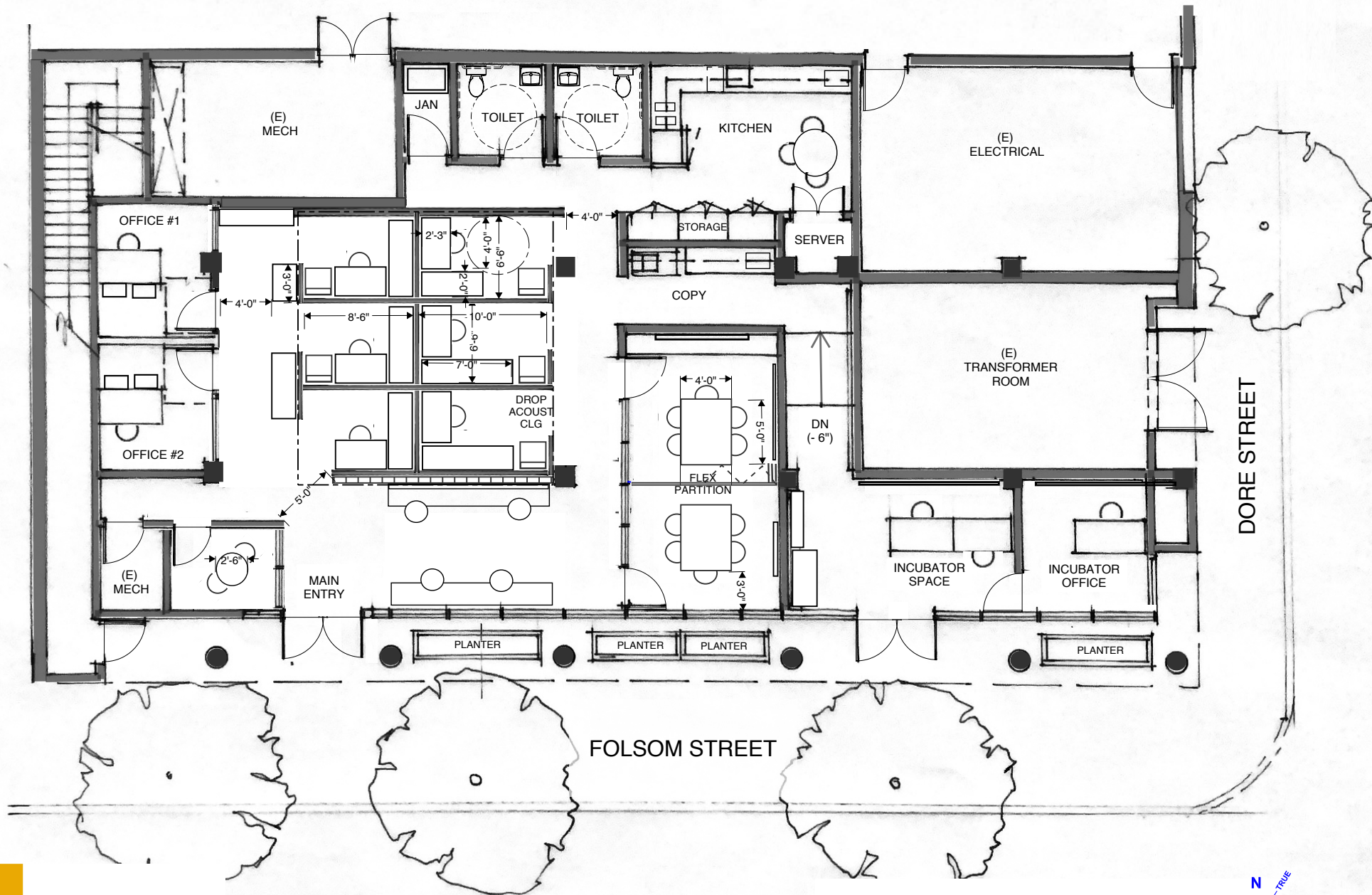
Please direct all questions regarding this RFQ to the contact named above.

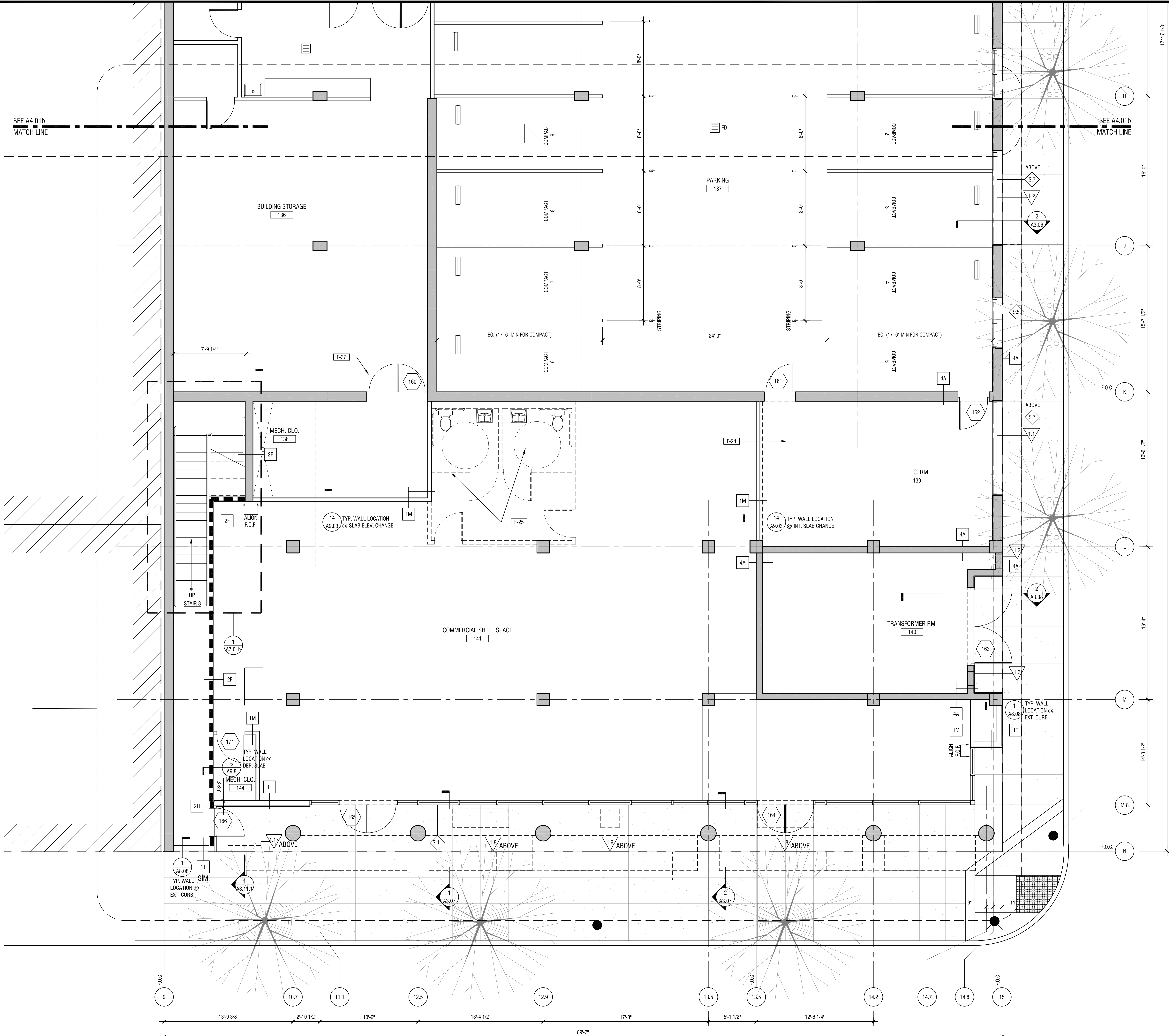
This RFQ can be accessed online at: ecs-sf.org/responding-to-an-rfp

Attachments:

- A. Conceptual Design
- B. As Built Drawings

ATTACHMENT A



SEE A4.01b
MATCH LINESEE A4.01b
MATCH LINE**1** ENLARGED FLOOR PLAN - GROUND FLOOR
SCALE: 1/4" = 1'-0"

Disclaimer:

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify, and be responsible for, all dimensions and conditions on the job and this office must be notified of any variations from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrication.

General Notes:

Sheet Notes:

1. TYPE I F.A. CONSTRUCTION THROUGHOUT.
2. CONCRETE CONSTRUCTION SHOWN SHADED TYP.
3. SEE A4.01a FOR DRAWING NOTES

ONE HOUR CONSTRUCTION

TWO HOUR RATED CONSTRUCTION

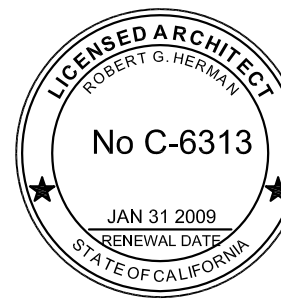
TWO HOUR AREA SEPARATION

FOUR HOUR RATED CONSTRUCTION

Key Plan:



Stamp:



Submittals:

Issue	Date
SITE PERMIT ADDENDUM 2	07.19.07
DBI REVISION #1- MECHANICAL	09.12.07
DBI REVISION #2- FIRE DEPARTMENT	10.22.07
DBI REVISION #3- STRUCTURAL	11.15.07
DBI REVISION #4- ARCHITECTURAL	11.27.07
MOD REVISION #5- ACCESSIBILITY	12.12.07
DPW REVISION #6- DPT. PUBLIC WORKS	12.12.07
100 % CONSTRUCTION SET	1.04.08

Project Title:

**275 10th Street -
Supportive Housing**275 10th Street
San Francisco, CA 94103

Sheet Title:

**ENLARGED FLOOR PLAN -
GROUND FLOOR**

Scale:

1/4" = 1'-0"

**HERMAN & COLIVER : ARCHITECTURE,
PLANNING AND DESIGN STUDIO**363 CLEMENTINA ST. / SAN FRANCISCO / CA 94103.4104
T: 415.552.9210 / F: 415.552.9811 / E: herman@hermancoliver.com**S MEEK ARCHITECTURE**3040 24TH STREET / SAN FRANCISCO / CA 94110.4129
T: 415.543.5505 / F: 415.543.5585 / E: smeek@smearchitecture.com

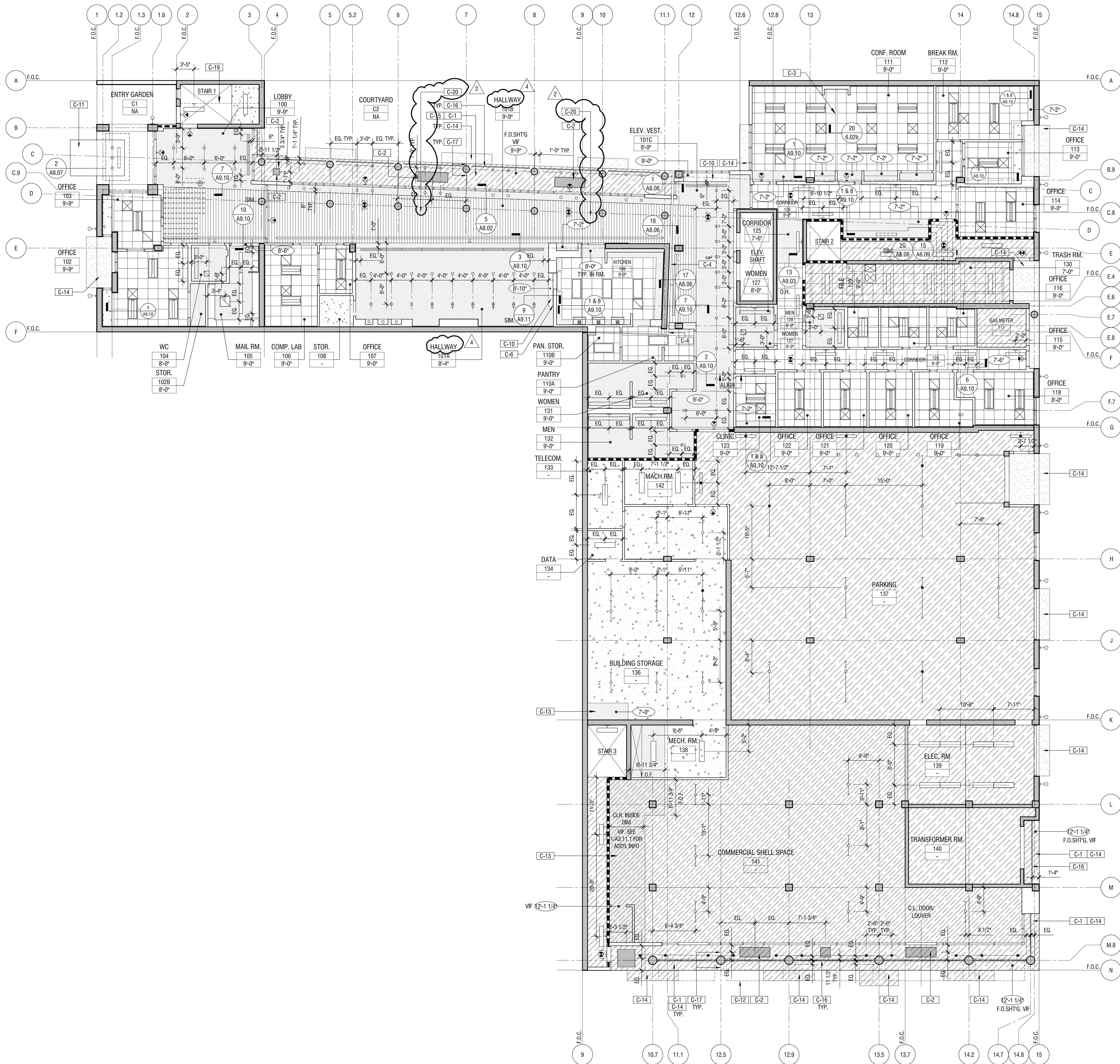
Drawn By: JC/GF/KF

Checked: GF

Associate: GF

Sheet Number:

A4.01c



1 REFLECTED CEILING PLAN - GROUND FLOOR
A2.07 SCALE: 1/8" = 1'-0"

SYMBOL	TYPE	DESCRIPTION
	S.E.D.	UPLIGHT WALL SCONCE
	S.E.D.	WALL MOUNTED ADA 24" LINEAR UPLIGHT
	S.E.D.	WALL MOUNTED VANITY LIGHT, 48"
	S.E.D.	WALL MOUNTED SCONCE
	S.E.D.	WALL MOUNTED ADA LINEAR UPLIGHT, 48" OR 96"
	S.E.D.	RECESSED COMPACT FLUORESCENT DOWNLIGHT
	S.E.D.	SIM. TO AG W/ FIELD BUILT-IN 1-HOUR GYP. BD. ENCLOSURE
	S.E.D.	RECESSED COMPACT FLUORESCENT LENSED WALLWASHER
	S.E.D.	SIM. TO A7 W/ FIELD BUILT-IN 1-HOUR GYP. BD. ENCLOSURE
	S.E.D.	WALL MOUNTED LINEAR UPLIGHT
	S.E.D.	ENCLOSED FLUORESCENT, 48"
	S.E.D.	CONTINUOUS EXTRUDED ALUMINUM UPLIGHT
	S.E.D.	RECESSED DOWNLIGHT
	S.E.D.	FLUORESCENT UPLIGHT, 48"
	S.E.D.	NOT USED
	S.E.D.	WALL MOUNTED ADA LINEAR UPLIGHT 48" OR 96"
	S.E.D.	SURFACE MOUNTED STACK LIGHT, 12-0"
	S.E.D.	RECESSED 2X4 INDIRECT TROFFER
	S.E.D.	RECESSED 2X4 INDIRECT TROFFER, 3 LAMP
	S.E.D.	RECESSED 2X4 LENSED TROFFER, 3-LAMP
	S.E.D.	LINEAR FLUORESCENT 278 CROSS-SECTION
	S.E.D.	WET LOCATION WALL MOUNTED DOWNLIGHT
	S.E.D.	WET LOCATION WALL MOUNTED SCONCE
	S.E.D.	RECESSED STEP LIGHT
	S.E.D.	REAR MOUNT METAL HALIDE FLOOD LIGHT
	S.E.D.	UNDERCABINET LIGHT, 48"
	S.E.D.	UNDERCABINET LIGHT, 36"
	S.E.D.	UNDERCABINET LIGHT, 24"
	S.E.D.	DESK LAMP - PROVIDE ALLOWANCE FOR
		BATHROOM EXHAUST, S.M.D.
	N/A	CEILING REGISTER / DIFFUSER / EXHAUST, S.M.D.
		CLASS A FIRE RATED
	N/A	SUSPENDED GYPSUM BOARD CEILING OR SOFFIT.
	N/A	SPRAY APPLIED INSULATION, THICKNESS AS REQUIRED TO ACHIEVE AN R OF 8
	N/A	GYP. BD. CEILING FINISH MOUNTED TO STRUCTURE ABOVE OR RESILIENT CHANNELS PER ASSEMBLY.
	N/A	24" X 24" SUSPENDED ACOUSTIC LAY IN CEILING TILE (MYLAR FACED PANELS AT ROOMS 109, 110A, 110B & 130)
	N/A	EXPOSED CONCRETE P.T. SLAB SOFFIT
	N/A	EXTERIOR CEMENT PLASTER, TEXTURE VARIES, SEE TYPICAL NOTES BELOW
	N/A	EXTERIOR CEMENT PLASTER, TEXTURE VARIES, SEE TYPICAL NOTES BELOW. RIGID BOARD INSULATION ON P.T. CONC. SLAB ABOVE, THICKNESS AS REQUIRED TO ACHIEVE AN R OF 8

RCP DRAWING NOTES

- C-1 METAL STUD FRAMED DROPPED SOFFIT WITH 5/8" TYPE X CEMENTITIOUS GYP. BD. SHEATHING TYP.
- C-2 SURFACE MOUNTED LOUVER, SMD
- C-3 MOVABLE PARTITION TRACK, SSD FOR STRUCTURAL SUPPORT.
- C-4 FIRE RATED SEISMIC JOINT COVER ASSEMBLY
- C-5 EXPOSED WOOD STAIR ABOVE
- C-6 RECESSED SLIDING DOOR TRACK
- C-7 ROOF HATCH
- C-8 PAINTED WOOD STRUCTURE
- C-9 PAINTED T & G SOFFIT
- C-10 PAINTED WOOD FINISH
- C-11 PAINTED METAL CANOPY
- C-12 PAINTED METAL & GLASS AWNING (NOT SHOWN FOR DRAWING CLARITY).
- C-13 2 HOUR RATED SHAFT BOTTOM, SEE 15.2/A6.09 FOR ADD'L INFORMATION
- C-14 EXTERIOR CEMENT PLASTER FINISH SYSTEM AT SOFFIT, INTEGRAL COLOR 2- SMOOTH FINISH
- C-15 EXTERIOR CEMENT PLASTER FINISH SYSTEM AT SOFFIT, INTEGRAL COLOR 3- STANDARD FINISH
- C-16 GSM SOFFIT VENT, SEE 14/A8.08 FOR ADD'L INFORMATION
- C-17 HORIZONTAL GSM CEMENT PLASTER CONTROL JOINT, SEE 5/A8.08 SIM. FOR ADD'L INFORMATION
- C-18 1 HOUR SHAFT BOTTOM, SEE 15.1/A6.09 FOR ADD'L INFORMATION
- C-19 LINE OF CONSTRUCTION BELOW, SHOWN DASHED FOR DRAWING CLARITY. SEE FLOOR PLANS FOR ADD'L INFO.
- C-20 PROVIDE FIRE SPRINKLERS ABOVE AND BELOW CUMBUSTIBLE WOOD CEILING ASSEMBLY

RCP TYPICAL NOTES

- UNDERSIDE OF STAIRS NOT SHOWN FOR DRAWING CLARITY.
- LIGHTING SHOWN IS FOR REFERENCE ONLY. SEE ELECTRICAL PLANS FOR FIXTURE TAGS AND SPECIFICATIONS FOR FIXTURE SCHEDULE AND TYPICAL MOUNTING HEIGHTS.
- REFER TO SHEET A2.09 FOR TYPICAL RCP INFORMATION NOT NOTED ON SHEETS A2.08, A2.10 AND A2.11.

Disclaimer:

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify, and be responsible for, all dimensions and conditions on the job and this office must be notified of any variations from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrication.

General Notes:

Sheet Notes:

Stamp:

Submittals:

Issue	Date
SITE PERMIT ADDENDUM 2	07.19.07
DBI REVISION #1- MECHANICAL	09.12.07
DBI REVISION #2- FIRE DEPARTMENT	10.22.07
DBI REVISION #3- STRUCTURAL	11.15.07
DBI REVISION #4- ARCHITECTURAL	11.27.07
MOD REVISION #5- ACCESSIBILITY	12.12.07
DPW REVISION #6- DPT. PUBLIC WORKS	12.12.07
100 % CONSTRUCTION SET	1.04.08

Project Title:

275 10th Street - Supportive Housing

275 10th Street
San Francisco, CA 94103

Sheet Title:

REFLECTED CEILING PLAN - GROUND FLOOR

Scale:

1/8"=1'-0"

HERMAN & COLIVER : ARCHITECTURE,
PLANNING AND DESIGN STUDIO

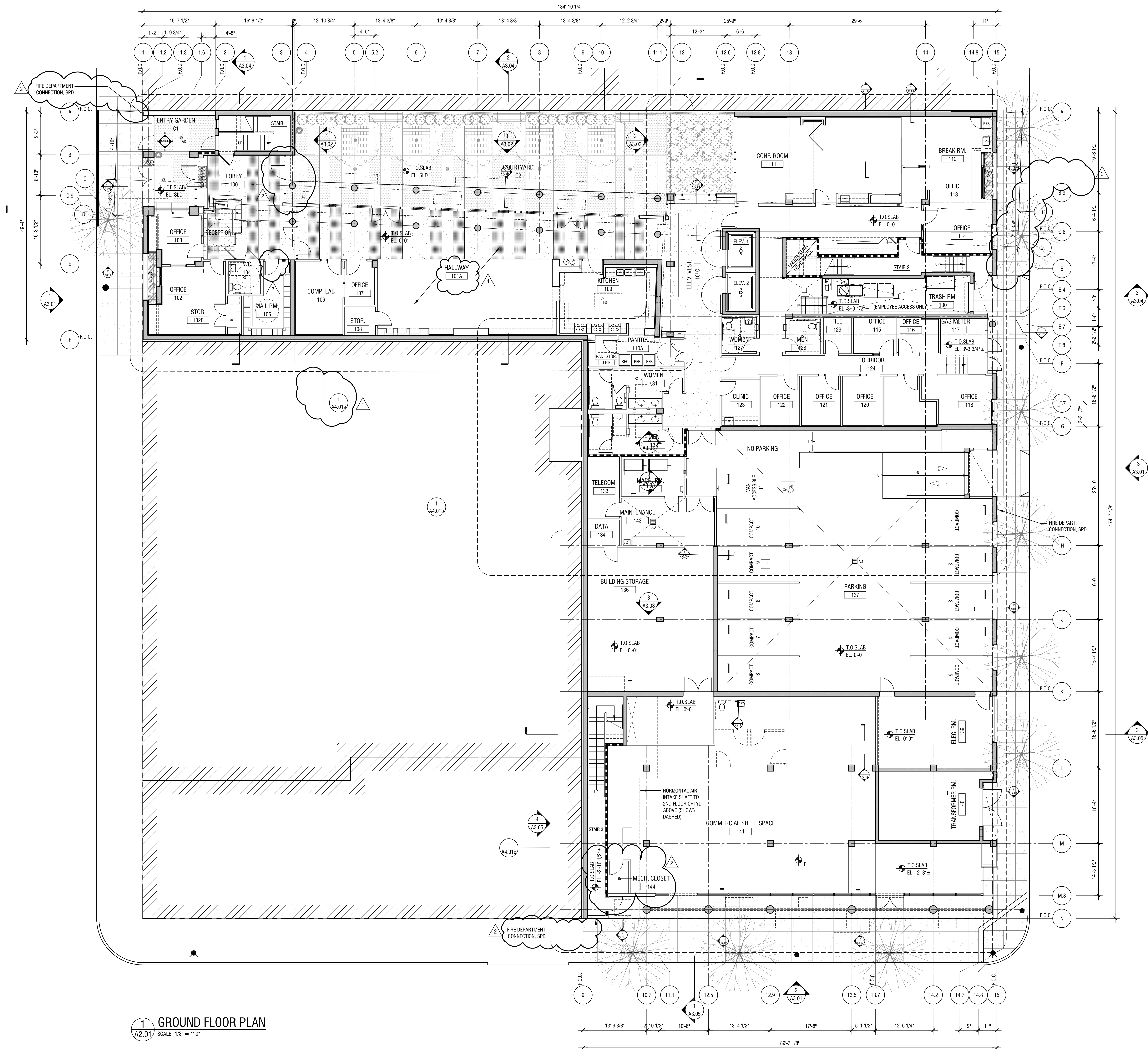
363 CLEMENTINA ST / SAN FRANCISCO / CA 94103.4104
T: 415.552.9210 / F: 415.552.9811 / E: herman@hermancoliver.com

S MEEK ARCHITECTURE

3040 24TH STREET / SAN FRANCISCO / CA 94110.4129
T: 415.543.5505 / F: 415.543.5555 / E: smeeke@hermancoliver.com

Drawn By: KFC/JC
Checked: GF
Associate: GF

Sheet Number:
A2.07



Disclaimer:
Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify, and be responsible for, all dimensions and conditions on the job and this office must be notified of any variations from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrication.

General Notes:
1. TYPE I F.R. CONSTRUCTION THROUGHOUT.
2. SEE ENLARGED PLANS - A4 SERIES FOR MORE DETAILED INFORMATION.

Sheet Notes:
1. TYPE I F.R. CONSTRUCTION THROUGHOUT.
2. CONCRETE CONSTRUCTION SHOWN SHADED TYP.

ONE HOUR CONSTRUCTION
TWO HOUR RATED CONSTRUCTION
TWO HOUR AREA SEPARATION
FOUR HOUR RATED CONSTRUCTION

Stamp:
No C-6313
JAN 31 2009
RENEWING DATE
BY THE CALIFORNIA
STATE BOARD OF ARCHITECTURE

Submittals:
Issue Date
SITE PERMIT ADDENDUM 2 07.19.07
DBI REVISION #1- MECHANICAL 09.12.07
DBI REVISION #2- FIRE DEPARTMENT 10.22.07
DBI REVISION #3- STRUCTURAL 11.15.07
DBI REVISION #4- ARCHITECTURAL 11.27.07
MOD REVISION #5- ACCESSIBILITY 12.12.07
DPW REVISION #6- DPT. PUBLIC WORKS 12.12.07
100 % CONSTRUCTION SET 1.04.08

Project Title:
275 10th Street - Supportive Housing

275 10th Street
San Francisco, CA 94103

Sheet Title:
GROUND FLOOR PLAN

Scale:
1/8" = 1'-0"

HERMAN & COLIVER : ARCHITECTURE,
PLANNING AND DESIGN STUDIO

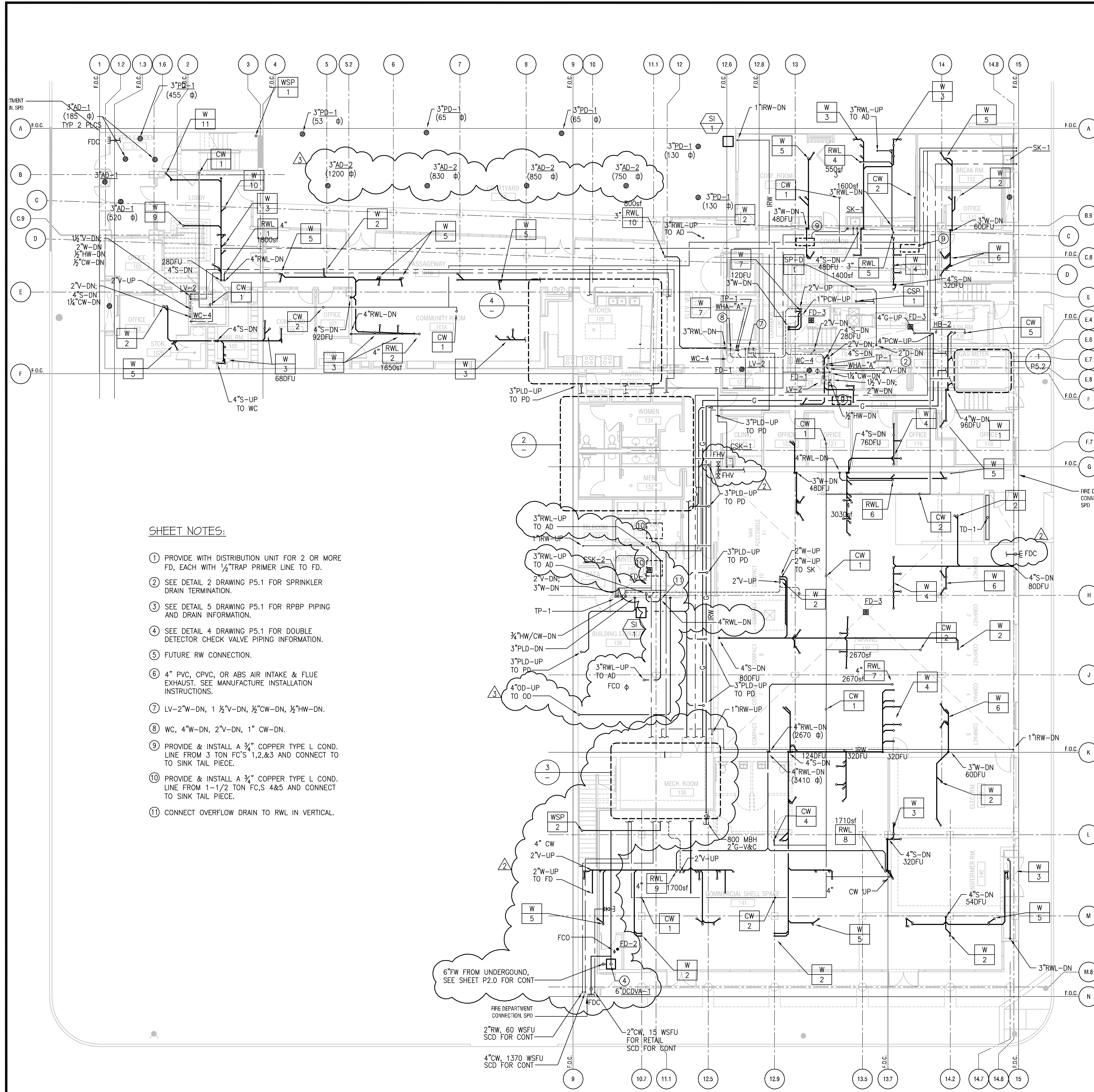
383 CLEVENTHIA ST / SAN FRANCISCO / CA 94103.4104
T: 415.552.8210 / F: 415.552.8811 / E: hcoliver@hermancoliver.com

S MEEK ARCHITECTURE

3040 24TH STREET / SAN FRANCISCO / CA 94110.4129
T: 415.543.5505 / F: 415.543.5585 / E: smeenk@smearchitecture.com

Drawn By: JC/GF Sheet Number:
Checked: GF
Associate: GF

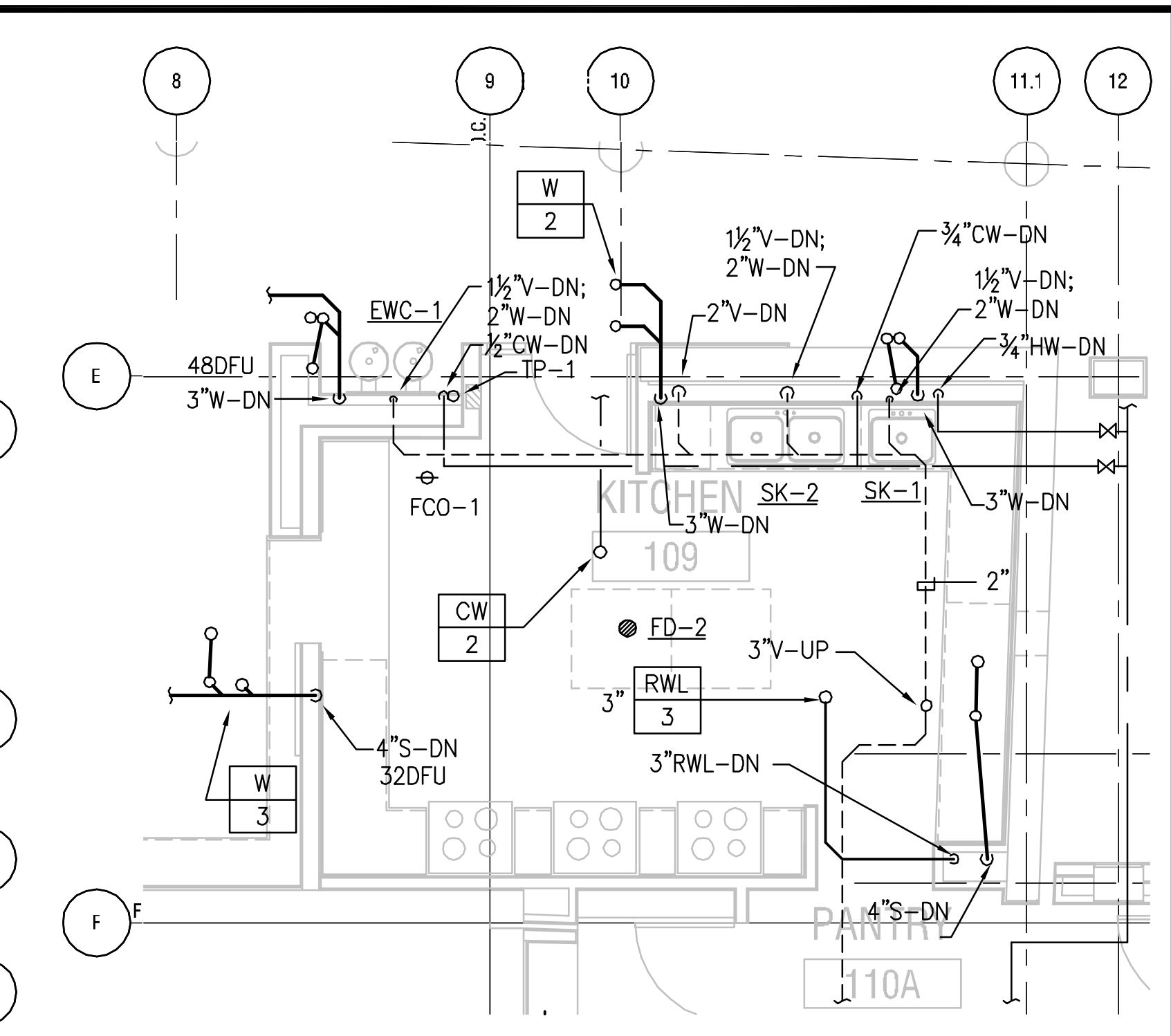
A2.01



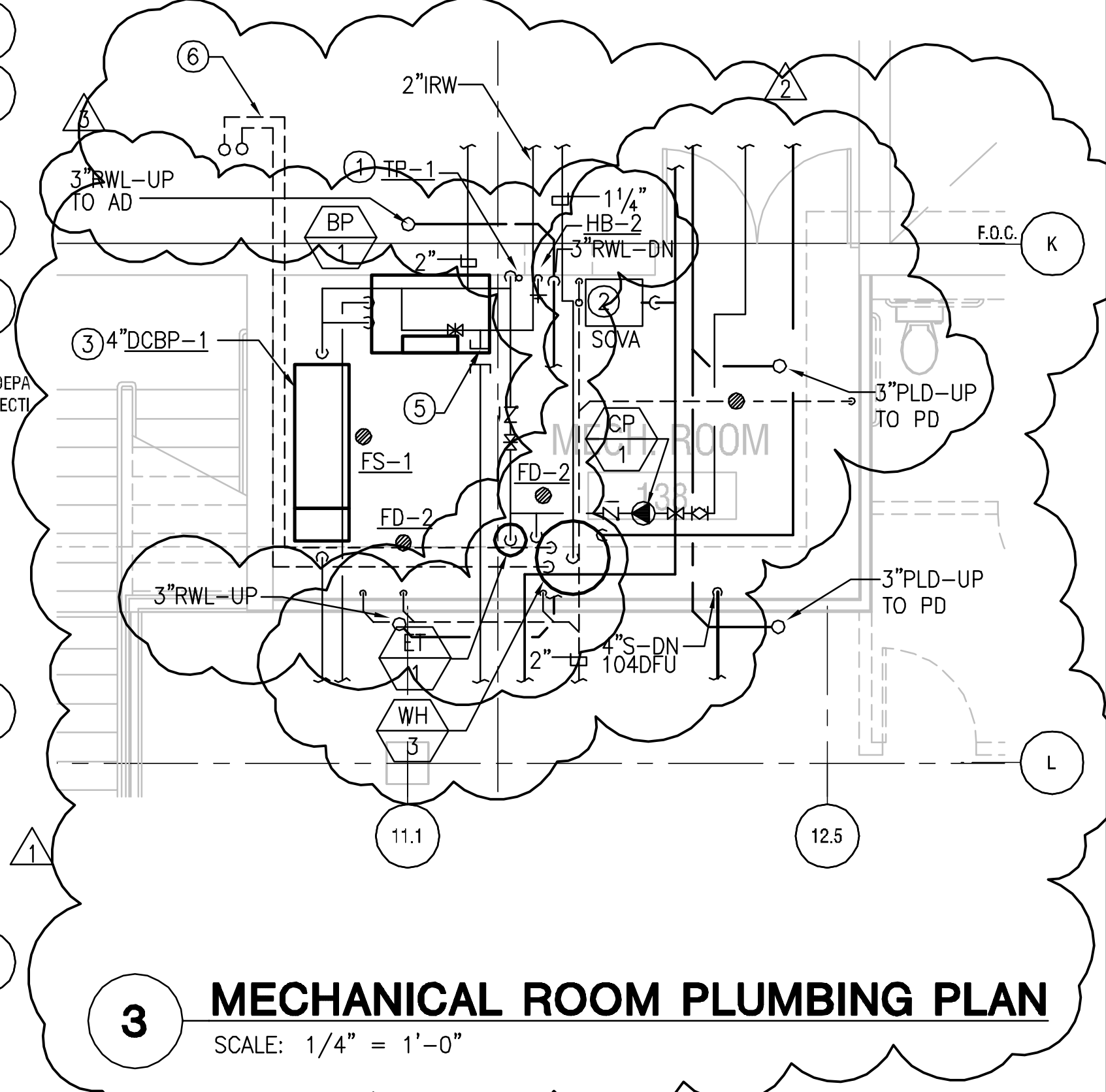
SHEET NOTES:

- 1 PROVIDE WITH DISTRIBUTION UNIT FOR 2 OR MORE FD, EACH WITH 1/2" TRAP PRIMER LINE TO FD.
- 2 SEE DETAIL 2 DRAWING P5.1 FOR SPRINKLER DRAIN TERMINATION.
- 3 SEE DETAIL 5 DRAWING P5.1 FOR RPB PIPING AND DRAIN INFORMATION.
- 4 SEE DETAIL 4 DRAWING P5.1 FOR DOUBLE DETECTOR CHECK VALVE PIPING INFORMATION.
- 5 FUTURE RW CONNECTION.
- 6 4" PVC, CPVC, OR ABS AIR INTAKE & FLUE EXHAUST. SEE MANUFACTURE INSTALLATION INSTRUCTIONS.
- 7 LV-2" W-DN, 1 1/2" V-DN, 1/2" CW-DN, 1/2" HW-DN.
- 8 WC, 4" W-DN, 2" V-DN, 1" CW-DN.
- 9 PROVIDE & INSTALL A 3/4" COPPER TYPE L COND. LINE FROM 3 TON FC'S 1,2,3 AND CONNECT TO SINK TAIL PIECE.
- 10 PROVIDE & INSTALL A 3/4" COPPER TYPE L COND. LINE FROM 1-1/2 TON FC'S 4&5 AND CONNECT TO SINK TAIL PIECE.
- 11 CONNECT OVERFLOW DRAIN TO RWL IN VERTICAL.

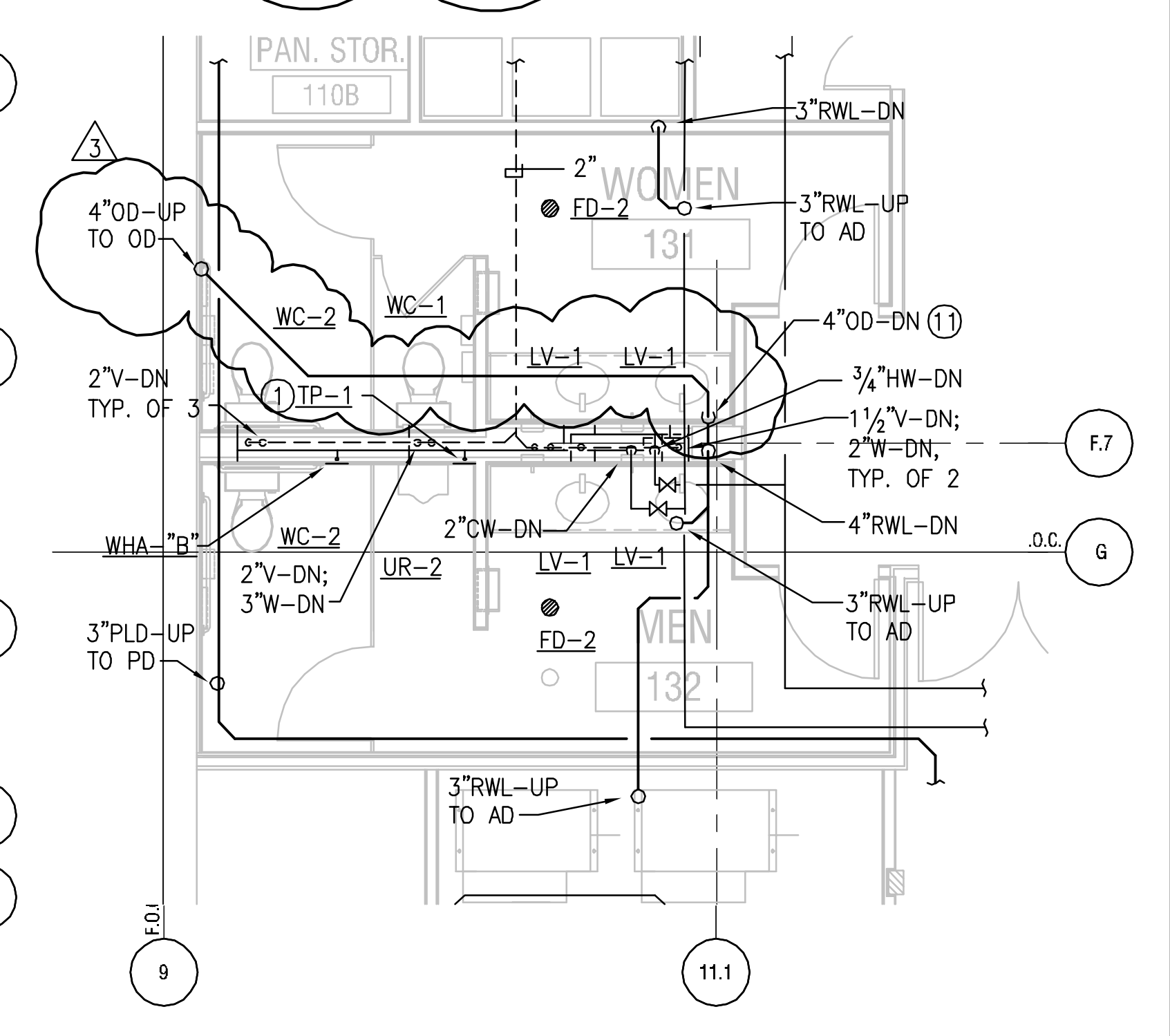
1 PLUMBING PLAN - GROUND FLOOR
SCALE: 1/8" = 1'-0"



4 KITCHEN PLUMBING PLAN
SCALE: 1/4" = 1'-0"



3 MECHANICAL ROOM PLUMBING PLAN
SCALE: 1/4" = 1'-0"



2 RESTROOM PLUMBING PLAN
SCALE: 1/4" = 1'-0"

Disclaimer:
Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify, and be responsible for, all dimensions and conditions on the job and this office must be notified of any variations from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrication.

Key Plan:

General Notes:

Ajmani & Pamidi Inc.
Mechanical & Electrical Engineers
One Market, 1150 Street Tower
San Francisco, California 94105
PH (415) 543-5555 FAX (415) 543-5555
E-mail: Mail@AjmaniSF.com 05014

Stamp:

Submittals:

Issue	Date
SITE PERMIT ADDENDUM 2	07.19.07
REVISION #0- GMP BID QUALIFICATIONS	10.25.07
DBI REVISION #1- MECHANICAL	09.12.07
DBI REVISION #2- FIRE DEPARTMENT	10.22.07
DBI REVISION #3- STRUCTURAL	11.15.07
DBI REVISION #4- ARCHITECTURAL	11.27.07
MOD REVISION #5- ACCESSIBILITY	12.12.07
DPW REVISION #6- DPT. PUBLIC WORKS	12.12.07
100 % CONSTRUCTION SET	1.03.08

Project Title:
275 10th Street Supportive Housing

275 10th Street
San Francisco, CA 94103

Sheet Title:
PLUMBING PLAN - GROUND FLOOR

Scale:
AS NOTED

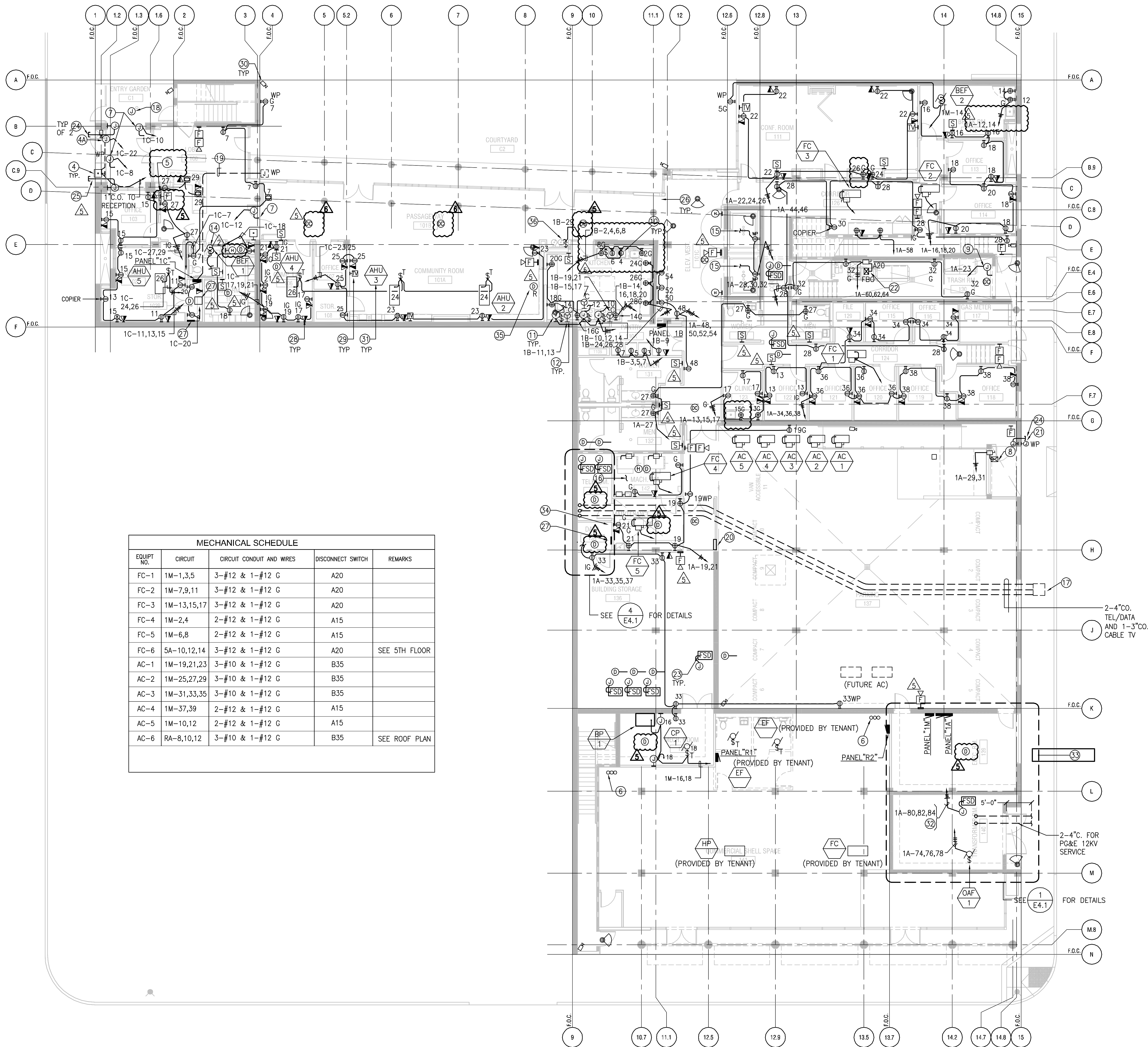
HERMAN & COLIVER : ARCHITECTURE,
PLANNING AND DESIGN STUDIO

363 CLEMENTINA ST. / SAN FRANCISCO / CA 94103.4104
T: 415.552.9210 / F: 415.552.9811 / E: herman@hermancoliver.com

S MEEK ARCHITECTURE

360 24TH STREET / SAN FRANCISCO, CA 94113.4139
T: 415.543.5555 / F: 415.543.5555 / E: smeek@smekarch.com

Drawn By: RS Sheet Number:
Checked: SA
Associate: SA
P2.1



MECHANICAL SCHEDULE				
EQUIPT NO.	CIRCUIT	CIRCUIT CONDUIT AND WIRES	DISCONNECT SWITCH	REMARKS
FC-1	1M-1,3,5	3-#12 & 1-#12 G	A20	
FC-2	1M-7,9,11	3-#12 & 1-#12 G	A20	
FC-3	1M-13,15,17	3-#12 & 1-#12 G	A20	
FC-4	1M-2,4	2-#12 & 1-#12 G	A15	
FC-5	1M-6,8	2-#12 & 1-#12 G	A15	
FC-6	5A-10,12,14	3-#12 & 1-#12 G	A20	SEE 5TH FLOOR
AC-1	1M-19,21,23	3-#10 & 1-#12 G	B35	
AC-2	1M-25,27,29	3-#10 & 1-#12 G	B35	
AC-3	1M-31,33,35	3-#10 & 1-#12 G	B35	
AC-4	1M-37,39	2-#12 & 1-#12 G	A15	
AC-5	1M-10,12	2-#12 & 1-#12 G	A15	
AC-6	RA-8,10,12	3-#10 & 1-#12 G	B35	SEE ROOF PLAN

1 GROUND FLOOR POWER AND MISC. SYSTEMS PLAN
SCALE: 1/8" = 1'-0"

SHEET NOTES:

- FOR FEEDER AND EQUIPMENT SIZES, SEE ELECTRICAL RISER DIAGRAM, DRAWING E1.1.
- FOR ELECTRICAL ROOM LAYOUT, SEE ENLARGED DETAIL PLAN E4.1.
- FOR LOCATION OF ALL MECHANICAL AND PLUMBING EQUIPMENT, SMD, SPD.
- OUTSIDE DOOR BOX CALL STATION FOR DOOR ENTRY INTERCOM REQUIREMENTS.
- UNDERGROUND JUNCTION BOX. PROVIDE 1"CO. SYSTEM TO RECEPTION AREA. COORDINATE WITH SECURITY VENDOR. SEE 5/A8.07 & 19/A8.07. SAD,VIF
- FIRE ALARM ANNUCIATOR PANEL (FAAP)
- PROVIDE CONDUIT STUB-UP FOR FUTURE COMMERCIAL TENANTS. 1-2"CO FOR TELECOMM, 2-1"CO FOR FIRE ALARM AND FOR POWER, SEE SINGLE LINE DIAGRAM. THESE ARE FOR EACH TENANT. LOCATE CONDUITS HERE FOR CONTROL AND POWER TO TENANT KITCHEN HOOD ON ROOF. FOR ROOF STUB LOCATION, SEE E2.6.
- FOR DOOR OPERATOR - 1/2HP 120V. VIF. PROVIDE 1" CONTROL CONDUIT TO ACCESS SYSTEM AND MANUAL STATION AS REQUIRED.
- FOR DOOR OPERATOR - 1 1/2HP 208V 1Ø. VIF. PROVIDE 1" CONTROL CONDUIT TO ACCESS SYSTEM AND MANUAL STATION AS REQUIRED.
- FOR FIRE DOOR OPERATOR - 1/2HP 120V. VIF. PROVIDE 1" CONTROL CONDUIT AS REQUIRED.
- DUPLEX RECEPTACLE WITH SPLIT-WIRE CONNECTION FROM 3-WIRE, 2-CIRCUIT FEED. SWITCH CONTROL TOP HALF OF RECEPTACLE FOR DISPOSAL, WITH BOTTOM HALF FOR DISHWASHER WHERE REQUIRED.
- FOR RANGE HOOD. VIF.
- FOR COOKTOP/RANGE OVEN. 1"C, 3#6+ 1#10G. VIF.
- NOT USED.
- INTERLOCK FAN WITH LIGHT SWITCH.
- TO ELEVATOR PIT LUMINAIRES. FOR CONTINUATION, SEE SHEET E3.1
- FOR ELEVATOR MACHINE AND ELEVATOR CAB CIRCUITS, SEE SINGLE LINE DIAGRAM SHEET E1.1.
- UNDERGROUND CHRISTY PULL BOX WITH VEHICULAR TRAFFIC COVER BY OTHERS.
- JUNCTION BOX FOR PARKING SIGNAGE. SEE DETAIL ON SHEET 7/A3.01 FOR EXACT LOCATION. PROVIDE 120V CONTROL CIRCUIT AND CONTROL WIRES IN 1"CO TO BUILDING RECEPTION DESK.
- PROVIDE 1 1/2"CO. PVC FOR FUTURE USE.
- CO2 CONTROL PANEL. VIF. PROVIDE 120V CONTROL CIRCUIT AND 1"CONDUIT SYSTEM AS REQUIRED.
- FOR "CAR COMING" SIGNAGE SYSTEM. PROVIDE 120V CONTROL CIRCUIT AND CONTROL WIRES IN 1"CO TO BUILDING RECEPTION DESK.
- FOR TRASH COMPACTOR (FBO). 3 HP 208V 3Ø. VIF.
- FOR FIRE SMOKE DAMPER. PROVIDE 120V CONTROL CIRCUIT FOR ALL FIRE SMOKE DAMPERS. FOR LOCATION, SMD.
- FOR BUILDING SIGNAGE VIA TIME SWITCH CONTROLLER. SEE DETAIL 12, SHEET E6.1.
- FOR FUTURE TALKING SIGN. PROVIDE 120V CONTROL CIRCUIT AND 1"CONDUIT.
- WHERE CONDUIT CROSSES SEISMIC JOINT, PROVIDE CONDUIT SYSTEM FOR 2" MOVEMENT ON EITHER SIDE OF JOINT. APPLIES TO ALL SHEETS.
- PROVIDE 120V CONTROL CIRCUIT AND 1"CO SYSTEM IF REQUIRED FOR SECURITY ACCESS SYSTEMS. APPLIES TO ALL SHEETS. VERIFY WITH SECURITY CONSULTANTS DWGS.
- PROVIDE 120V CONTROL CIRCUIT AND 1"CO SYSTEM IF REQUIRED FOR TELECOMM SYSTEMS. APPLIES TO ALL SHEETS.
- PROVIDE 120V CONTROL CIRCUIT AND 1"CO SYSTEM IF REQUIRED FOR CABLE SATELLITE TV SYSTEMS. HOMERUN CONDUIT IF REQUIRED TO NEAREST TELECOMM OR CABLE TV BOX.
- PROVIDE WALL MOUNTED (CEILING MOUNTED FOR DOME CAMERA OUTLET) BACK BOX WITH BLANK COVER PLATE FOR WALL MOUNTED CAMERA OUTLET AND 1"CONDUIT SYSTEM. HOMERUN CONDUIT TO SECURITY SYSTEM PANEL. FOR LOCATION, SEE SEC 1 & 2 DRAWINGS. NOTE APPLIES TO ALL SHEETS.
- FOR CIRCUIT REQUIREMENT OF MECHANICAL EQUIPMENT, SEE SCHEDULE THIS SHEET.
- CIRCUITS FOR FIRE SMOKE DAMPER, RECEPTACLES AND LUMINAIRES IN TRANSFORMER VAULT. SEE UCD DRAWINGS.
- FOR ADDITIONAL ELECTRICAL SCOPE OF WORK IN TRANSFORMER VAULT, SEE UCD DRAWINGS. PROVIDE AS REQUIRED.
- FOR IRRIGATION CONTROLLER. PROVIDE ALSO 2"CONDUIT PER NOTE 6 DETAIL 1/L5.2.
- FOR KITCHEN FIRE DOOR #119. WITH RELAY CONTACT AND CONTROL MODULE.
- FOR ELECTRIC WATER COOLER.

Disclaimer:

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify, and be responsible for, all dimensions and conditions on the job and this office must be notified of any variations from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrication.

Key Plan:

General Notes:

Ajmani & Pamidi Inc.
Mechanical & Electrical Engineers
One Market, 1150 Stearns Tower
San Francisco, California 94105
PH (415) 543-5555 FAX (415) 543-5555
E-mail: Mail@AjmaniPamidi.com 05014

Stamp:

Submittals:

Issue	Date
SITE PERMIT ADDENDUM 2	07.19.07
REVISION #0- GMP BID QUALIFICATIONS	10.25.07
DBI REVISION #1- MECHANICAL	09.12.07
DBI REVISION #2- FIRE DEPARTMENT	10.22.07
DBI REVISION #3- STRUCTURAL	11.15.07
DBI REVISION #4- ARCHITECTURAL	11.27.07
MOD REVISION #5- ACCESSIBILITY	12.12.07
DPW REVISION #6- DPT. PUBLIC WORKS	12.12.07
100 % CONSTRUCTION SET	1.03.08

Project Title:

275 10th Street
Supportive Housing

275 10th Street
San Francisco, CA 94103

Sheet Title:

GROUND FLOOR
POWER AND MISC.
SYSTEMS PLAN

Scale:

1/8"=1'-0"

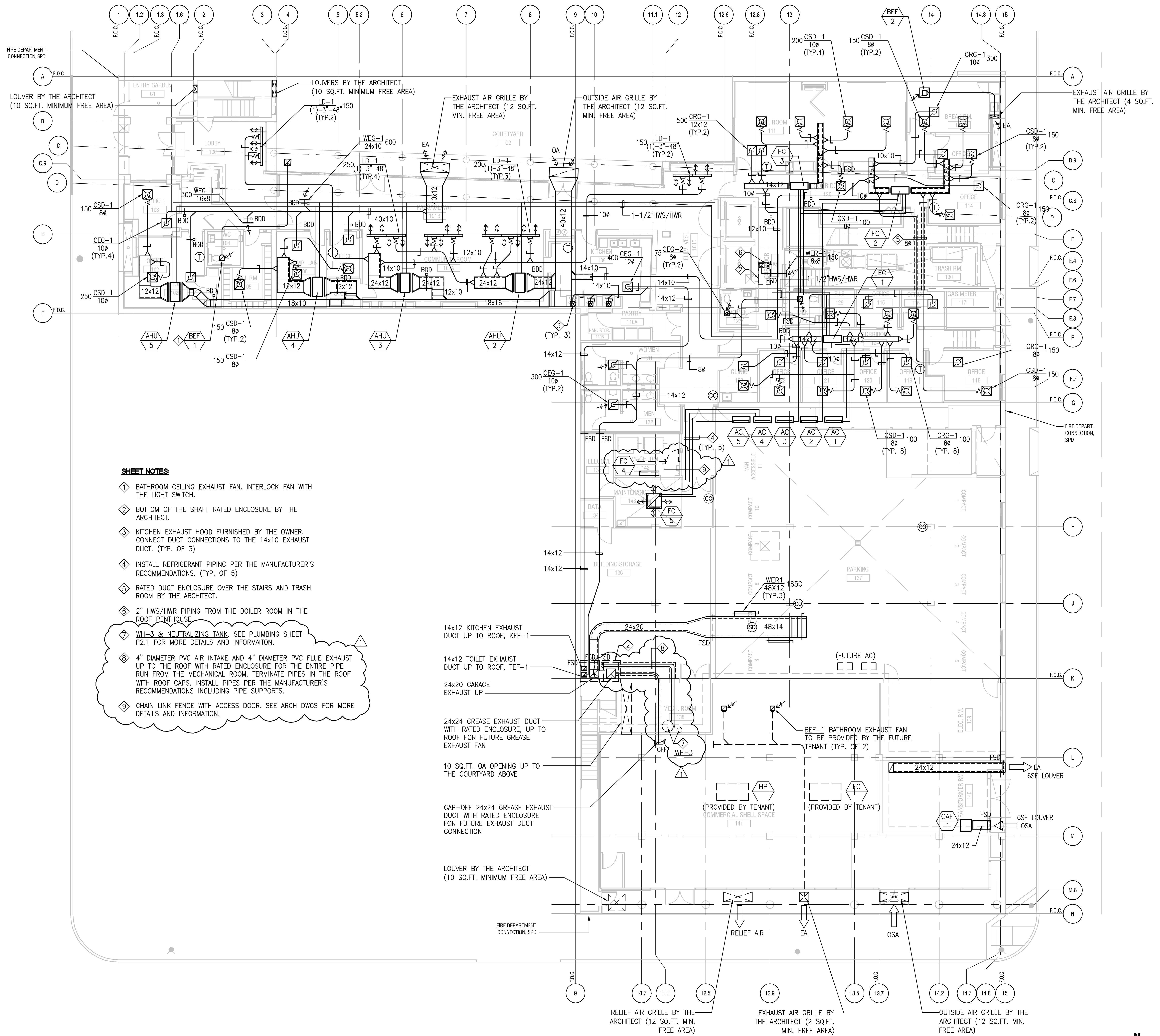
HERMAN & COLIVER : ARCHITECTURE,
PLANNING AND DESIGN STUDIO

363 CLEMENTINA ST. / SAN FRANCISCO / CA 94103, 4104
T: 415.552.9210 / F: 415.552.9811 / E: herman@hermancoliver.com

S MEEK ARCHITECTURE

360 24TH STREET / SAN FRANCISCO / CA 94113, 4139
T: 415.543.5555 / F: 415.543.5555 / E: smeen@smeenarchitecture.com

Drawn By: DF Sheet Number:
Checked: JME
Associate: SSP E2.1



SHEET NOTES:

- ① BATHROOM CEILING EXHAUST FAN. INTERLOCK FAN WITH THE LIGHT SWITCH.
- ② BOTTOM OF THE SHAFT RATED ENCLOSURE BY THE ARCHITECT.
- ③ KITCHEN EXHAUST HOOD FURNISHED BY THE OWNER. CONNECT DUCT CONNECTIONS TO THE 14x10 EXHAUST DUCT. (TYP. OF 3)
- ④ INSTALL REFRIGERANT PIPING PER THE MANUFACTURER'S RECOMMENDATIONS. (TYP. OF 5)
- ⑤ RATED DUCT ENCLOSURE OVER THE STAIRS AND TRASH ROOM BY THE ARCHITECT.
- ⑥ 2" HWS/HWR PIPING FROM THE BOILER ROOM IN THE ROOF PENTHOUSE
- ⑦ WH-3 & NEUTRALIZING TANK. SEE PLUMBING SHEET P2.1 FOR MORE DETAILS AND INFORMATION.
- ⑧ 4" DIAMETER PVC AIR INTAKE AND 4" DIAMETER PVC FLUE EXHAUST UP TO THE ROOF WITH RATED ENCLOSURE FOR THE ENTIRE PIPE RUN FROM THE MECHANICAL ROOM. TERMINATE PIPES IN THE ROOF WITH ROOF CAPS. INSTALL PIPES PER THE MANUFACTURER'S RECOMMENDATIONS INCLUDING PIPE SUPPORTS.
- ⑨ CHAIN LINK FENCE WITH ACCESS DOOR. SEE ARCH DWGS FOR MORE DETAILS AND INFORMATION.

1 MECHANICAL GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

Disclaimer:
Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify, and be responsible for, all dimensions and conditions on the job and this office must be notified of any variations from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrication.

Key Plan:

General Notes:

Ajmani & Pamidi Inc.
Mechanical & Electrical Engineers
One Market, 1150 Sausal Tower
San Francisco, California 94105
PH (415) 543-5555 FAX (415) 543-5555
E-mail: Mail@AjmaniSF.com 05014

Stamp:

Submittals:

Issue	Date
SITE PERMIT ADDENDUM 2	07.19.07
REVISION #0- GMP BID QUALIFICATIONS	10.25.07
DBI REVISION #1- MECHANICAL	09.12.07
DBI REVISION #2- FIRE DEPARTMENT	10.22.07
DBI REVISION #3- STRUCTURAL	11.15.07
DBI REVISION #4- ARCHITECTURAL	11.27.07
MOD REVISION #5- ACCESSIBILITY	12.12.07
DPW REVISION #6- DPT. PUBLIC WORKS	12.12.07
100 % CONSTRUCTION SET	1.03.08

Project Title:
275 10th Street Supportive Housing

275 10th Street
San Francisco, CA 94103

Sheet Title:
MECHANICAL GROUND FLOOR PLAN

Scale:
1/8"=1'-0"

HERMAN & COLIVER : ARCHITECTURE, PLANNING AND DESIGN STUDIO

363 CLEMENTINA ST./SAN FRANCISCO/CA 94103.4104
T: 415.552.9210 / F: 415.552.5585 / E: herman@hermancoliver.com

S MEEK ARCHITECTURE

360 24TH STREET / SAN FRANCISCO, CA 94113.4139
T: 415.543.5555 / F: 415.543.5585 / E: smeek@smekarch.com

Drawn By:	DF	Sheet Number:
Checked:	SA	M2.1
Associate:	SA	